

Phase 1 Site Development Plans Windham Town Common



October 22, 2018



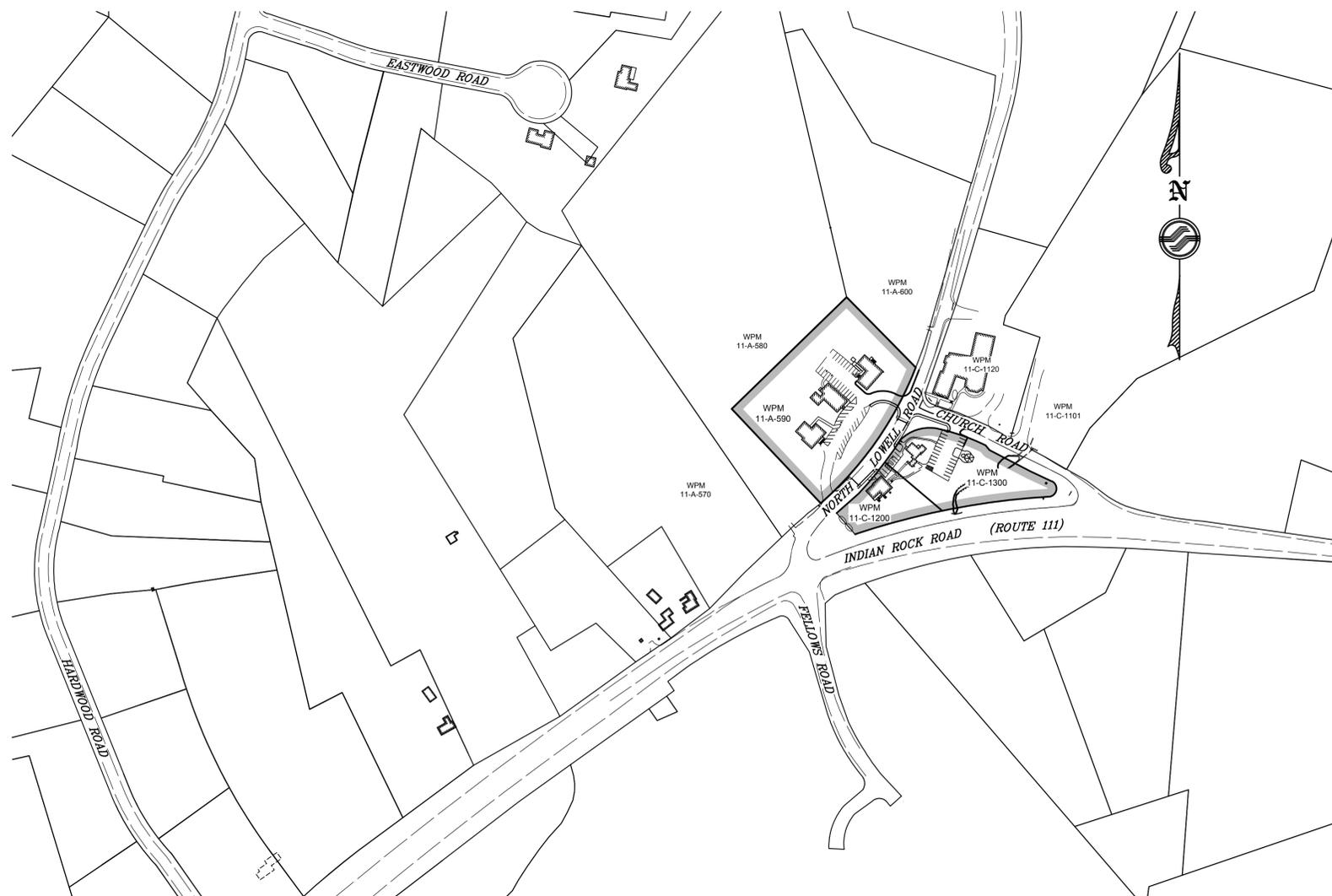
LOCATION PLAN
PREPARED FROM: BING MAPS
SCALE: 1" = 1/4 MILE (1320 FEET)

LEGEND

	EXISTING	PROPOSED
EDGE OF GRAVEL		
EDGE OF PAVEMENT		
BERM OR CURB		
PROPERTY LINE		
STONE WALL - INTERIOR		
EASEMENT LINE		
WPM PROPERTY MAP		
CONTOURS		
SPOT ELEVATIONS		
EDGE OF WATER		
TREE LINE		
DECIDUOUS TREE		
EVERGREEN TREE		
DECIDUOUS SHRUB		
EVERGREEN SHRUB		
PICKET FENCE		
CHAIN LINK FENCE		
GUARD RAIL		
HAND RAIL		
SILTATION FENCE		
PIPE FLOW ARROWS		
STORM SEWER		
OVERHEAD UTILITIES		
UNDERGROUND UTILITIES		
FORCE MAIN		
CATCH BASIN		
HEADWALL		
RIPRAP		
DRAIN MANHOLE		
SEWER MANHOLE		
WATER GATE		
WELL		
FIRE HYDRANT		
GAS VALVE		
GAS METER		
LPG TANK		
UTILITY POLE		
GUY WIRE		
LIGHT POLE		
FLOOD LIGHT		
ELECTRIC MANHOLE		
DRAINAGE FLOW ARROWS		
TRAFFIC FLOW ARROWS		
ACCESSIBLE PARKING		
SIGN		



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NOTE

THIS PLAN WAS PREPARED FROM THE PLANS OF REFERENCE AND THE ASSESSORS MAPS OF THE TOWN OF WINDHAM.

SHEET INDEX

SHEET NUMBER	DESCRIPTION	REVISION NUMBER	DATE
1	TITLE SHEET	.	10/22/2018
2	EXISTING CONDITIONS PLAN	.	10/22/2018
3	MASTER PLAN	.	10/22/2018
4	DEMOLITION PLAN	.	10/22/2018
5	SITE DEVELOPMENT PLAN	.	10/22/2018
6	CONSTRUCTION DETAILS	.	10/22/2018
7	CONSTRUCTION DETAILS	.	10/22/2018

No.	Revision	Date
Designed by: JRB	Drawn by: FDG	Checked by:

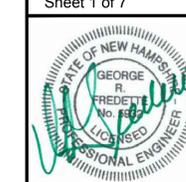
Title Sheet
**Windham Town Common
Restoration / Renovation
Windham, NH**
Parcel ID 11-A-590, 11-C-1200 & 11-C-1300

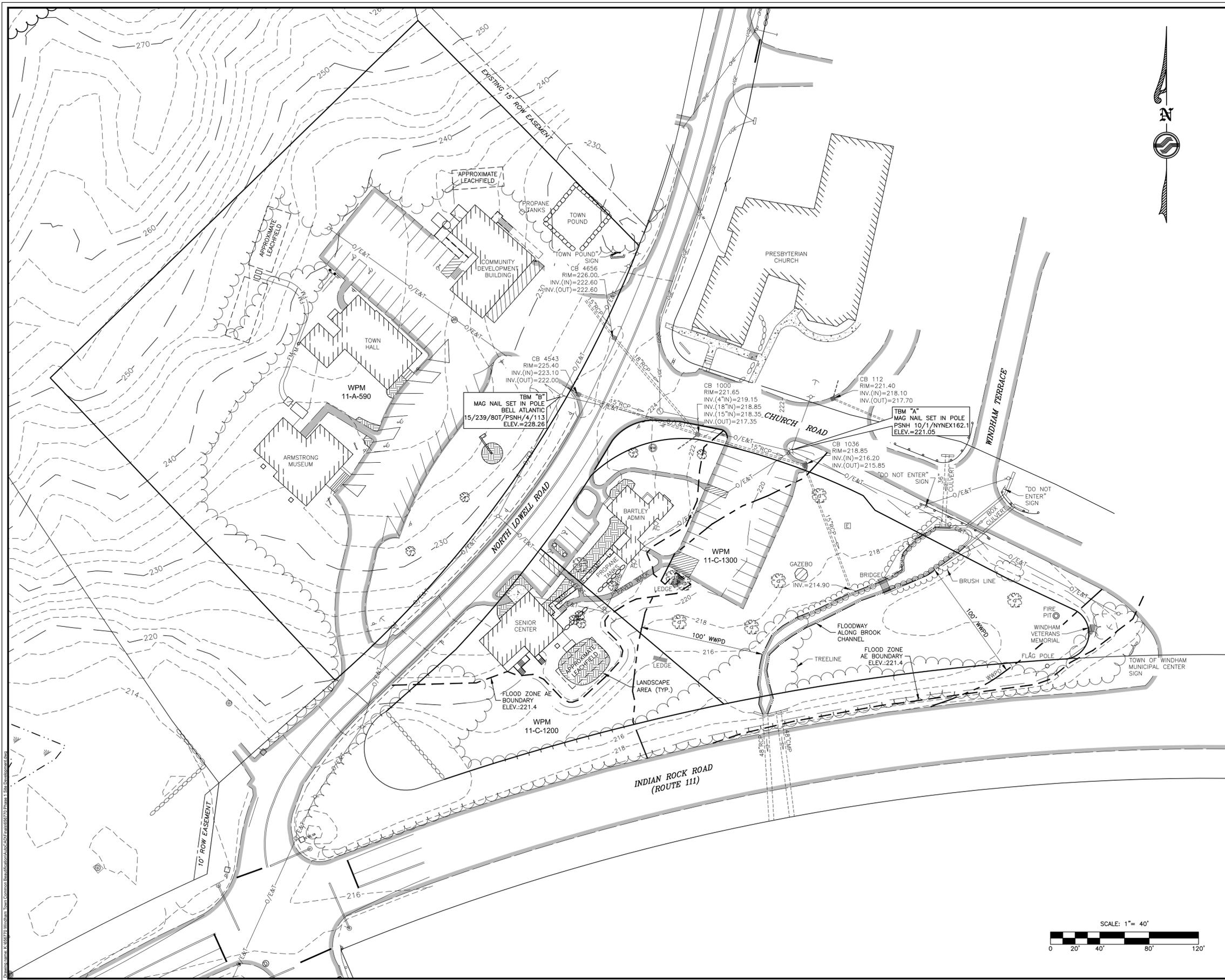
1 INDUSTRIAL DRIVE
WINDHAM, NH 03087 (603) 647-8700
www.sfceng.com

Sheet 1 of 7 Scale: 1" = 200' Date: 10/22/2018

Prepared for:
Town of Windham
3 North Lowell Road
Windham, NH 03087

Zoning Classification: Historic District





PLANS OF REFERENCE

- "PLAN OF PROPOSED SEWAGE DISPOSAL SYSTEM" DRAWN FOR: THE TOWN OF WINDHAM, NEW HAMPSHIRE, PREPARED BY: ROBERT THORNDIKE, DATED: NOV. 1969, FOR LOT 11-A-590.
- "PLAN OF PROPOSED SEWAGE DISPOSAL SYSTEM IN WINDHAM, NH", DRAWN FOR: THE TOWN OF WINDHAM, PREPARED BY: ROBERT THORNDIKE, DATED: OCT. 1976, REVISED: 2/11/1980, FOR LOT 11-A-590.
- "PLAN OF PROPOSED SEWAGE DISPOSAL SYSTEM IN WINDHAM, NH", DRAWN FOR: THE TOWN OF WINDHAM, PREPARED BY: ROBERT THORNDIKE, DATED: MAY 1981, FOR LOT 11-C-1200.
- "PRELIMINARY PLAN OF WINDHAM TOWN COMMON, WINDHAM, NH", LAST REVISED: SEPT. 1983.
- "PRELIMINARY SITE PLAN FOR PROPOSED PRESBYTERIAN CHURCH ADDITION", PROVIDED BY TOWN.
- "SCHEMATIC SITE PLAN, WINDHAM TOWN CENTER", PREPARED FOR: TOWN OF WINDHAM, PREPARED BY: KEACH-NORDSTROM ASSOCIATED, INC., DATED: JULY 24, 2017.

NOTES

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS OF THE WINDHAM TOWN COMMON, PARCEL ID 11-A-590, 11-C-1200 & 11-C-1300.
- NO WETLANDS MAPPING WAS PERFORMED AS PART OF THIS PLAN.
- A PORTION OF THIS PARCEL IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA ZONE AE AS INTERPRETED FROM THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF WINDHAM, COMMUNITY-PANEL NUMBER 330150541E. EFFECTIVE DATE: 5/17/2005 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR TO CONTACT DIGSAFE 72 HOURS PRIOR TO CONSTRUCTION.
- THIS PLAN SHOWS CONDITIONS AS DEFINED BY INSTRUMENT FIELD SURVEY BY SFC ENGINEERING OBSERVED ON SEPTEMBER 5, 2018 AND TAKEN FROM PLANS OF REFERENCE. BOUNDARY INFORMATION TAKEN FROM PLANS OF REFERENCE. THIS DOES NOT REPRESENT A BOUNDARY SURVEY BY SFC.

No.	Revision	Date

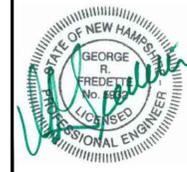
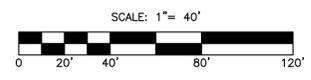
Existing Conditions
Windham Town Common
 Restoration / Renovation
Windham, NH
 Parcel ID 11-A-590, 11-C-1200 & 11-C-1300

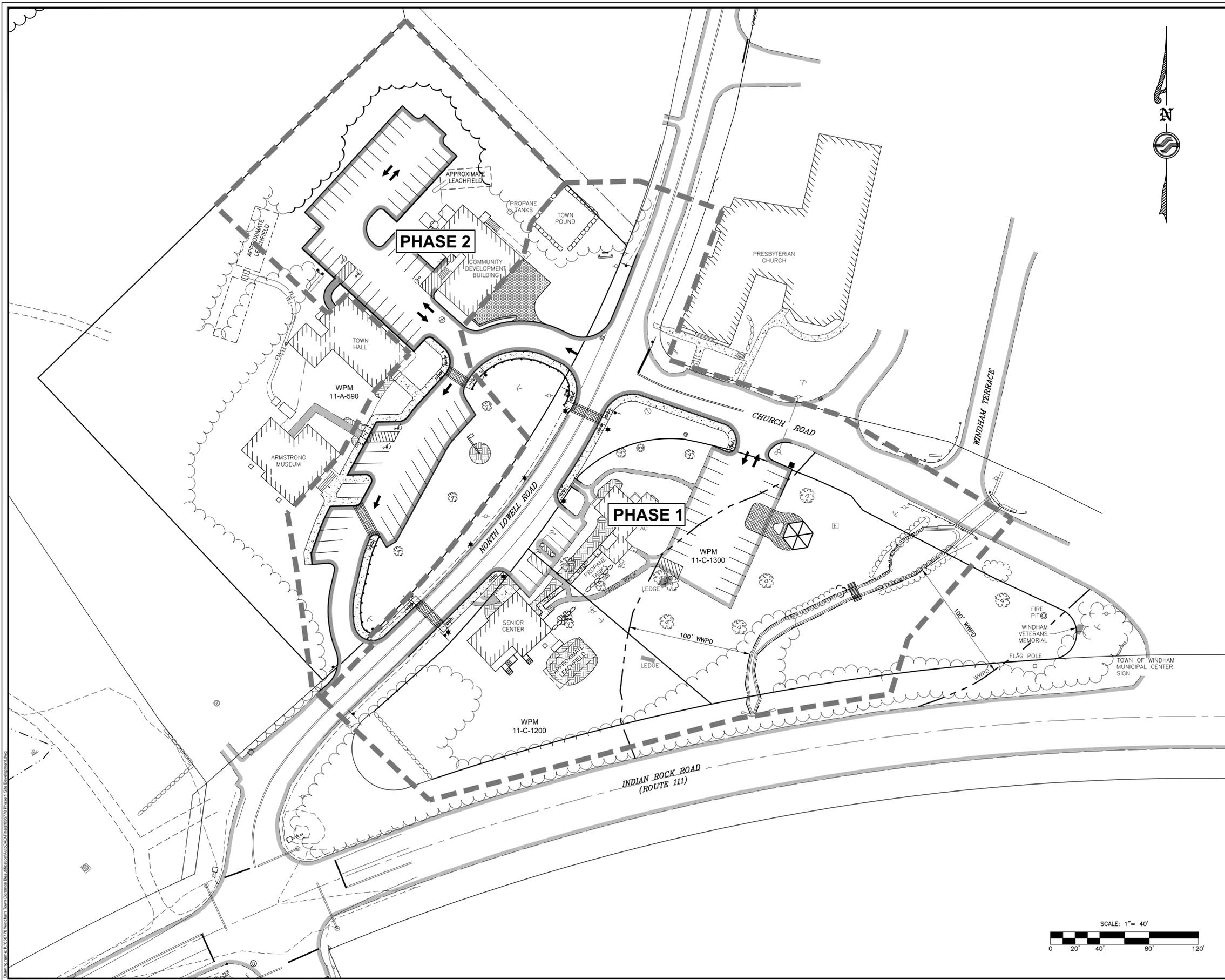

 1 INDUSTRIAL DRIVE
 WINDHAM, NH 03087 (603) 647-8700
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Sheet 2 of 7 Scale: 1" = 40' Date: 10/22/2018

Prepared for:
 Town of Windham
 3 North Lowell Road
 Windham, NH 03087

Zoning Classification: Historic District





- NOTES**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE TWO PHASES PROPOSED ON THE WINDHAM TOWN COMMON PARCEL ID 11-A-590, 11-C-1200 & 11-C-1300.
 - THE PROPOSED PHASE 1 SITE DEVELOPMENT FEATURES CONSTRUCTION OF THE FOLLOWING:
 - PLACEMENT OF PREFABRICATED GAZEBO AND PEDESTRIAN BRIDGE
 - CONSTRUCTION OF BRICK PAVER AREA ADJACENT TO GAZEBO
 - RECONFIGURATION OF ADMINISTRATION PARKING LOT ENTRANCE
 - REPAIR AND REPLACEMENT OF CATCH BASINS
 - STRIPING OF 22 PARKING SPACES WITHIN THE EXISTING ADMINISTRATION PARKING LOT
 - RECONFIGURATION OF TOWN HALL ENTRANCE WITH GRASS PAVE AREA FOR GARAGE DOOR ACCESS
 - CONSTRUCTION OF TRAFFIC CALMING FEATURES ALONG NORTH LOWELL ROAD INCLUDING:
 - STAMPED PAVEMENT CROSSWALKS
 - CONCRETE SIDEWALKS
 - PEDESTRIAN SIGNAGE AND LIGHTING
 - CONSTRUCTION OF TRAFFIC CALMING FEATURES ALONG CHURCH ROAD INCLUDING:
 - CONCRETE SIDEWALK
 - PAINTED STOP BAR AND DOUBLE YELLOW LINE
 - FUTURE PHASE 2 SITE DEVELOPMENT FEATURES CONSTRUCTION OF THE FOLLOWING:
 - RECONFIGURATION OF TOWN HALL, ARMSTRONG MUSEUM AND COMMUNITY DEVELOPMENT BUILDING PARKING LOTS
 - CONSTRUCTION OF A PARKING LOT FOR 21 ADDITIONAL PARKING SPACES BEHIND COMMUNITY DEVELOPMENT BUILDING
 - CONSTRUCTION OF CLOSED DRAINAGE SYSTEM CONNECTED TO EXISTING ALONG NORTH LOWELL ROAD

No.	Revision	Date
Designed by: JRB	Drawn by: FDG	Checked by:

Master Plan
Windham Town Common
 Restoration / Renovation
 Windham, NH
 Parcel ID 11-A-590, 11-C-1200 & 11-C-1300

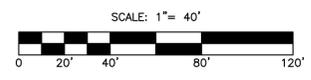


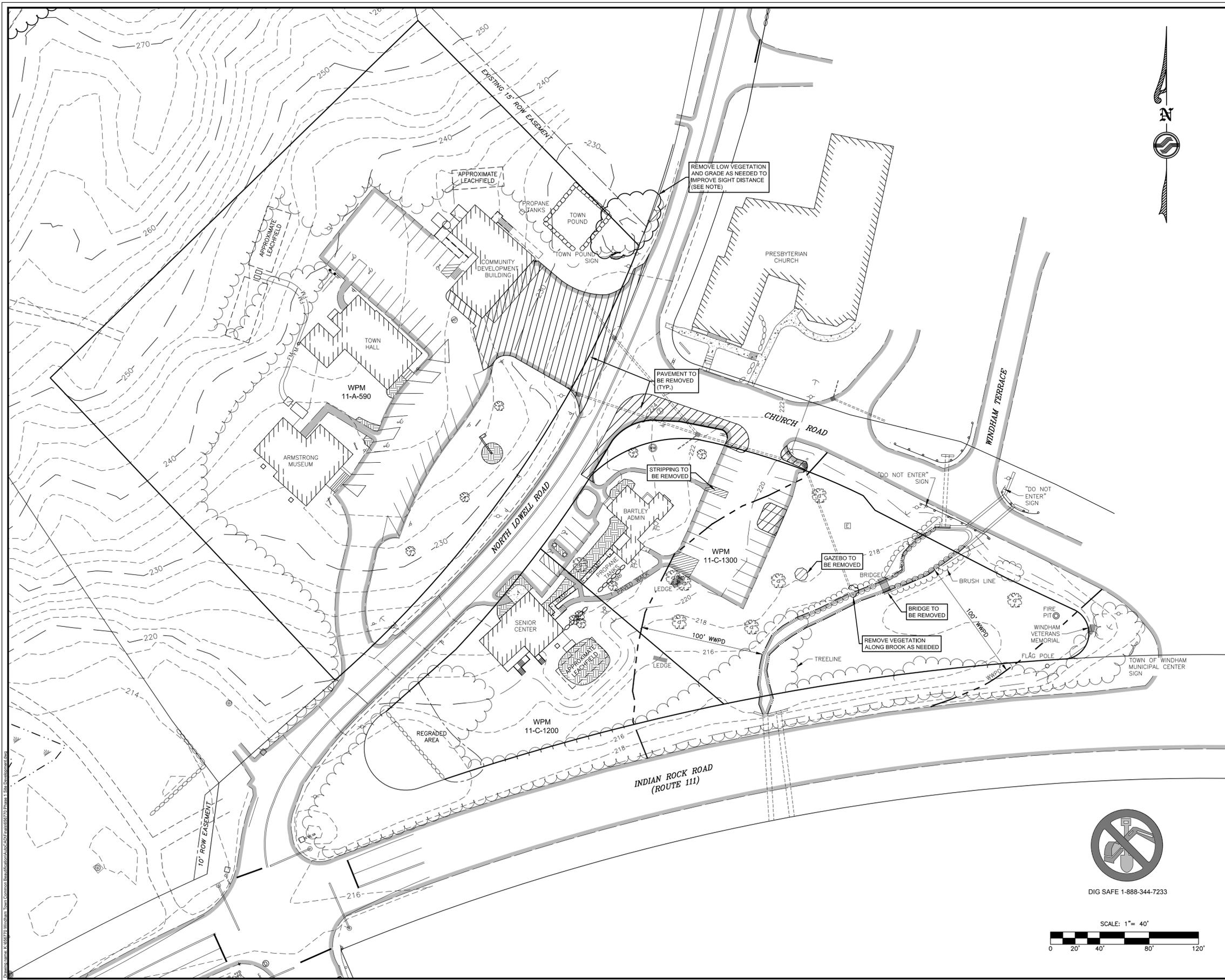
1 INDUSTRIAL DRIVE
 WINDHAM, NH 03087

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Sheet 3 of 7 Scale: 1" = 40' Date: 10/22/2018

	Prepared for: Town of Windham 3 North Lowell Road Windham, NH 03087
Zoning Classification: Historic District	





- NOTES**
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PHASE 1 DEMOLITION OF THE WINDHAM TOWN COMMON PARCEL ID 11-A-590, 11-C-1200 & 11-C-1300.
 2. THE EXISTING GAZEBO AND SUPPORTS SHALL BE REMOVED.
 3. THE EXISTING BRIDGE AND SUPPORTS SHALL BE REMOVED.
 4. THE EXISTING PARKING STRIPPING SHALL BE REMOVED AND RE-STRIPPED.
 5. HATCH LOCATIONS INDICATE WHERE PAVEMENT SHALL BE REMOVED. APPROXIMATELY 11,700 SF.
 6. REMOVE AND REPLACE EXISTING SIGNS ALONG NORTH LOWELL ROAD AND CHURCH ROAD AS NEEDED.
 7. ALONG NORTH LOWELL ROAD REMOVE LOW VEGETATION AND GRADE AS NEED TO IMPROVE SIGHT DISTANCE. CONTRACTOR TO COORDINATE WITH THE TOWN AND ABUTTING LAND OWNER.



No.	Revision	Date

Phase 1 - Demolition Plan
Windham Town Common
 Restoration / Renovation
 Windham, NH
 Parcel ID 11-A-590, 11-C-1200 & 11-C-1300

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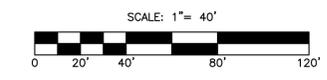
Sheet 4 of 7 Scale: 1" = 40' Date: 10/22/2018

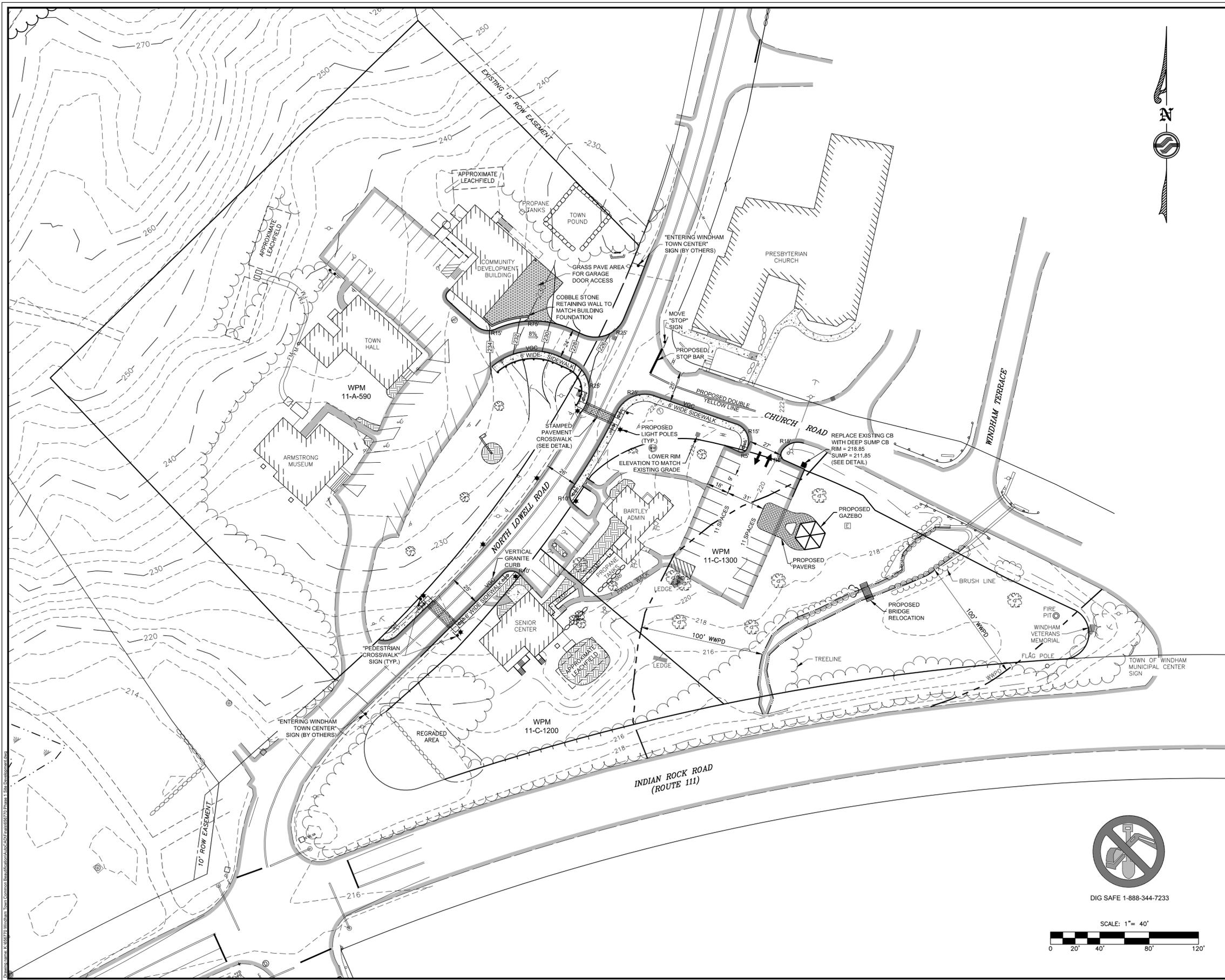
Prepared for:
 Town of Windham
 3 North Lowell Road
 Windham, NH 03087

Zoning Classification: Historic District



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- NOTES**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED PHASE 1 IMPROVEMENTS OF THE WINDHAM TOWN COMMON PARCEL ID 11-A-590, 11-C-1200 & 11-C-1300.
 2. THE PROPOSED PHASE 1 SITE DEVELOPMENT FEATURES CONSTRUCTION OF THE FOLLOWING:
 - A. PLACEMENT OF PREFABRICATED GAZEBO AND PEDESTRIAN BRIDGE PER MANUFACTURERS RECOMMENDATIONS
 - B. CONSTRUCTION OF PAVEMENT ADJACENT TO GAZEBO
 - C. RECONFIGURATION OF ADMINISTRATION PARKING LOT ENTRANCE
 - D. REPAIR AND REPLACEMENT OF CATCH BASINS
 - E. STRIPING OF 22 PARKING SPACES WITHIN THE EXISTING ADMINISTRATION PARKING LOT
 - F. RECONFIGURATION OF TOWN HALL ENTRANCE WITH GRASS PAVE AREA FOR GARAGE DOOR ACCESS
 - G. CONSTRUCTION OF TRAFFIC CALMING FEATURES ALONG NORTH LOWELL ROAD INCLUDING:
 - 1) STAMPED PAVEMENT CROSSWALKS
 - 2) CONCRETE SIDEWALKS
 - 3) PEDESTRIAN SIGNAGE AND LIGHTING
 - H. CONSTRUCTION OF TRAFFIC CALMING FEATURES ALONG CHURCH ROAD INCLUDING:
 - 1) CONCRETE SIDEWALK
 - 2) PAINTED STOP BAR AND DOUBLE YELLOW LINE
 3. ALL WORK SHALL CONFORM TO TOWN OF WINDHAM STANDARDS.
 4. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 5. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR TO CONTACT DIGSAFE 72 HOURS PRIOR TO CONSTRUCTION.
 6. CONTRACTOR SHALL VERIFY TEMPORARY BENCH MARK (TBM) ELEVATIONS PRIOR TO CONSTRUCTION.
 7. ALL PARKING SPACES SHALL BE STRIPED WITH A 4" WHITE OR YELLOW TRAFFIC PAINT.
 8. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE TOPSOIL AND SEEDED WITH GRASS OR OTHER APPROVED VEGETATION. A MINIMUM OF SIX (6) INCHES OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE (1) POUND OF PERENNIAL GRASS SEED PER 1,000 SF OF AREA. IN GENERAL, ESTABLISHMENT OF TURF SHALL BE LIMITED TO THOSE AREAS THAT MAY BE REGULARLY MAINTAINED AS LAWN. GROUND COVERS, MULCH OR OTHER SUITABLE MATERIAL SHALL BE APPLIED TO AREAS NOT INTENDED TO BE REGULARLY MAINTAINED AS LAWN.
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING APPROPRIATE EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION IN ACCORDANCE WITH NHDES AND US EPA BEST MANAGEMENT PRACTICES.
 10. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF CONDITIONS ARE FOUND THAT DO NOT MATCH WHAT IS SHOWN ON THESE PLANS.

No.	Revision	Date

Phase 1 - Site Development Plan
Windham Town Common
Restoration / Renovation
Windham, NH
 Parcel ID 11-A-590, 11-C-1200 & 11-C-1300

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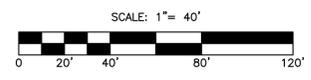
Sheet 5 of 7 Scale: 1" = 40' Date: 10/22/2018

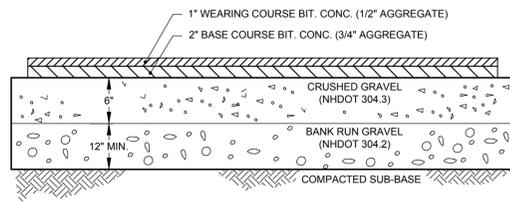
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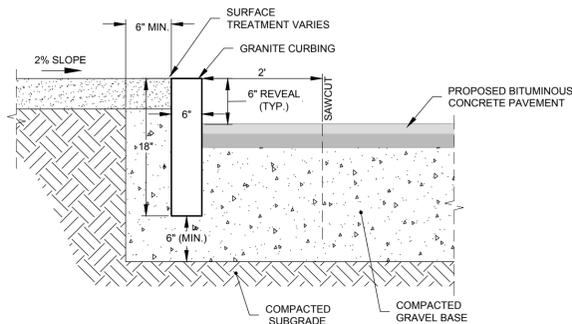


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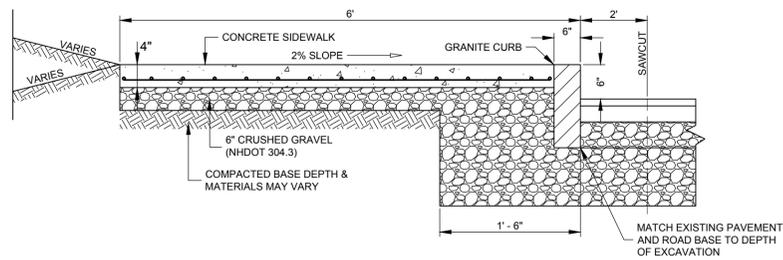




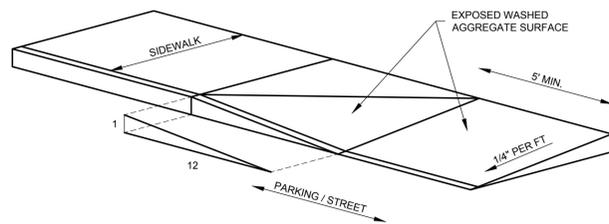
STANDARD PAVEMENT DETAIL
NOT TO SCALE



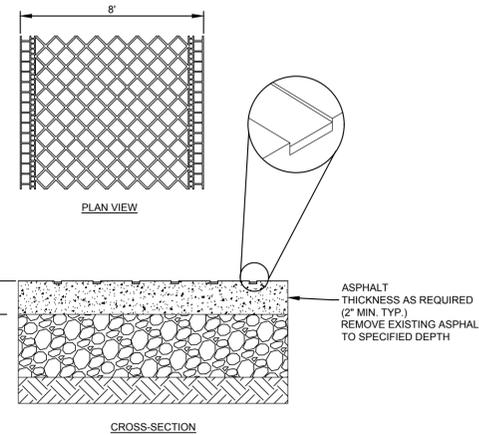
VERTICAL GRANITE CURBING
NOT TO SCALE



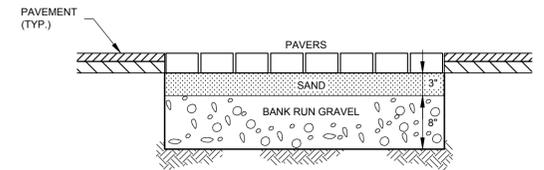
CONCRETE SIDEWALK
NOT TO SCALE



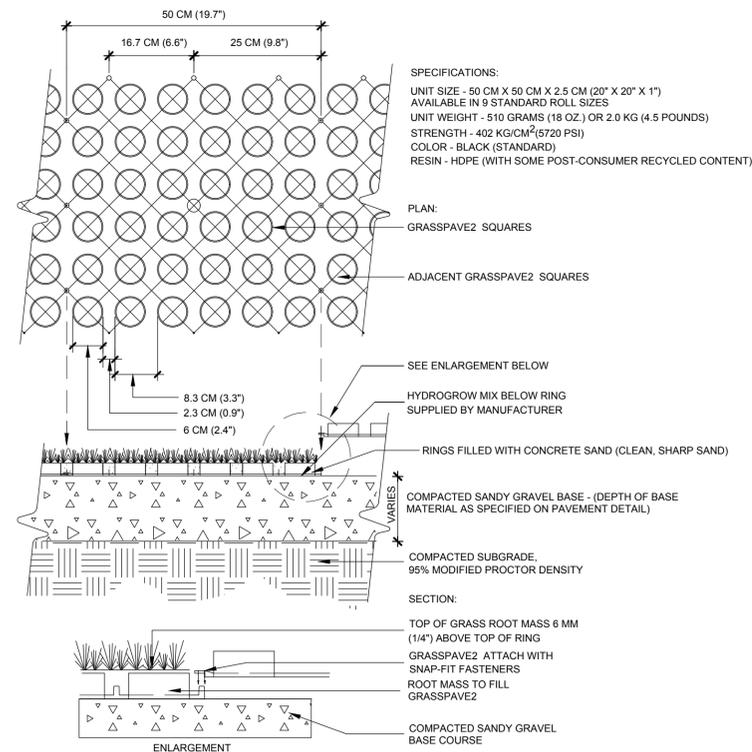
SIDEWALK CURB RAMP DETAIL
NOT TO SCALE



STAMPED PAVEMENT DETAIL
NOT TO SCALE



TYPICAL PAVER DETAIL
NOT TO SCALE



TYPICAL GRASSPAVE 2 DETAIL
NOT TO SCALE

No.	Revision	Drawn by:	Date
		JRB	

Phase 1 - Construction Details
**Windham Town Common
Restoration / Renovation
Windham, NH**
Parcel ID 11-A-590, 11-C-1200 & 11-C-1300

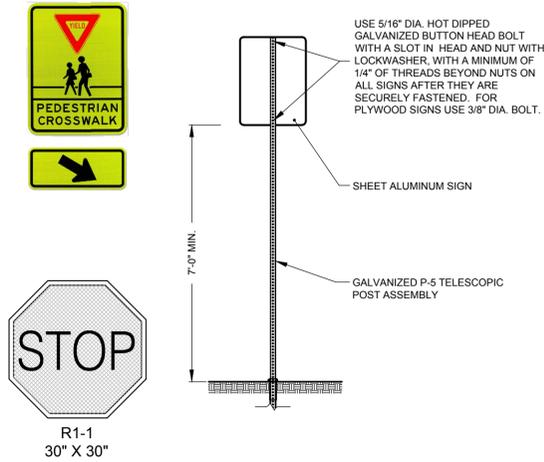
1 INDUSTRIAL DRIVE
WINDHAM, NH 03087

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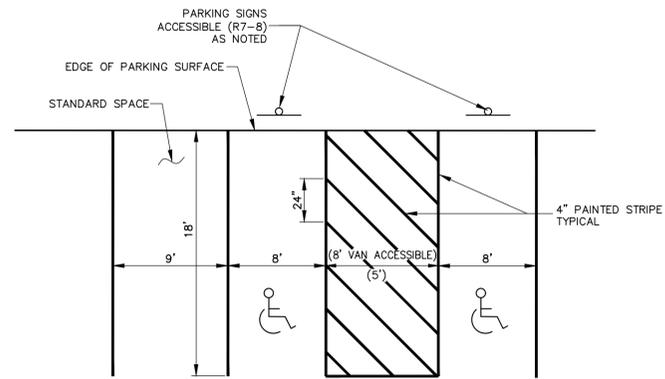
Sheet 6 of 7 Scale: As Noted Date: 10/22/2018

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Town of Windham
3 North Lowell Road
Windham, NH 03087

Zoning Classification: Historic District

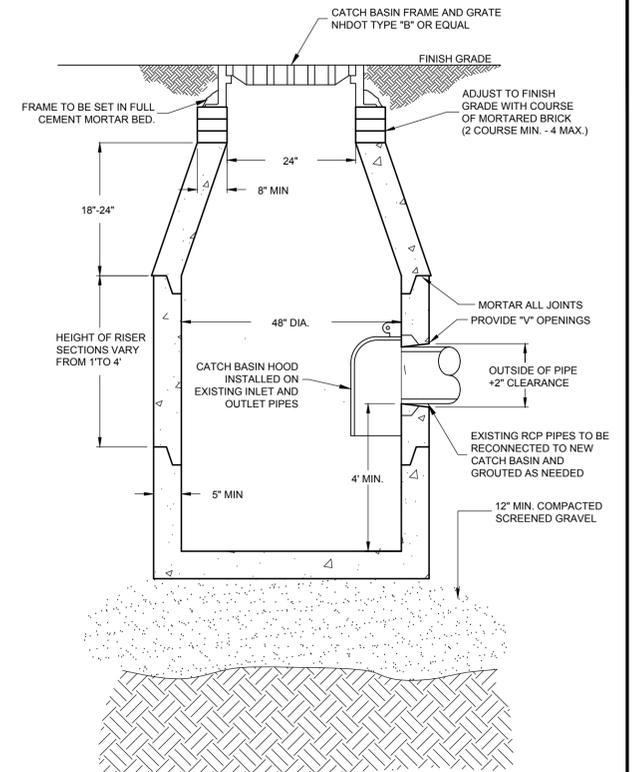


SIGN & POST INSTALLATION
NOT TO SCALE

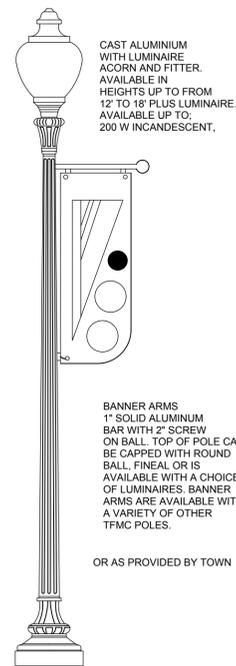


- NOTES:**
1. ALL DIMENSIONS TO CENTER OF STRIPING.
 2. ALL STRIPING SHALL BE 4\"/>

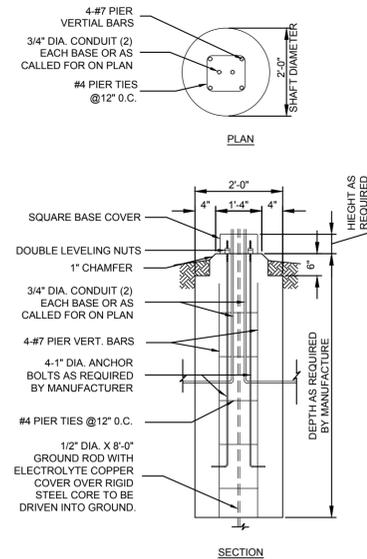
PARKING SPACE STRIPING DETAIL
NOT TO SCALE



**DEEP SUMP
PRECAST CONCRETE CATCH BASIN**
NOT TO SCALE



STREET LIGHT WITH BANNER ARM
NOT TO SCALE



- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.
 3. ATTACH GROUND WIRE SIZED AS PER ELECTRICAL CODE.
 4. THE LIGHT POLE FOOTINGS SHALL BE SET AND REINFORCED AS SHOWN ON THE DETAIL EXCEPT FOR THE FOOTINGS LOCATED IN UNSTABLE AREAS OR IN AREAS WITH SHALLOW SOIL.
 5. THESE AREAS SHALL BE REDESIGNED WITH THE DEPTH OF FOUNDATION AND REINFORCING REVISED TO MEET POLE AS NOTED BY GEOLOGICAL INSPECTOR.

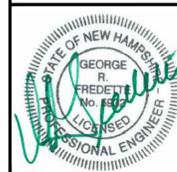
STREET LIGHT FOUNDATION
NOT TO SCALE

No.	Revision	Drawn by:	Date
	Designed by: JRB	Drawn by: JRB	Checked by: GRF

Phase 1 - Construction Details
**Windham Town Common
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 Windham, NH**
 Parcel ID 11-A-590, 11-C-1200 & 11-C-1300

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Sheet 7 of 7 Scale: As Noted Date: 10/22/2018



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